



City of Pendergrass
Community Development Department

SINGLE FAMILY BUILDING PERMIT CHECKLIST

Provide all items listed below. If not applicable, applicant shall indicate N/A on this check list and shall explain by notation on the plan.

An incomplete application **will not** be accepted into the review process.

The building permit card must be posted on the permitted job site at the right of way, weather protected, and a copy of the permitted plans must be readily available to the Inspectors at all times.

Minimum Requirements

1. Completed Residential Building Permit Application
2. Completed IECC Affidavit
3. Completed Erosion Control Affidavit
4. Completed Residential Grading Permit Application
5. Authorization of Property Owners
6. Completed Authorized Permit Agent Form
7. Complete set of Plans to include the following:

Residential plans require two (2) copies of clearly drawn architectural plans showing the following:

- * Address of the proposed residence
 - * Heated and unheated area calculations
 - * Foundation plans, drawn clearly and to scale
 - * Footing and foundation wall details, showing reinforcement
 - * Floor plans, showing proposed electrical and plumbing fixtures
 - * Typical wall sections, showing proposed building materials
 - * Truss plans, in accordance with the R502.11.4(2006 IRC)
 - * Four-sided elevations, with building dimensions ☐ Structural/engineered plans, where required
8. A PDF of plans **must** be submitted by USB, as well 2 copies of drawings that are 11 x 17.
 9. A copy of the approved County water and sewer tap-in permit/receipt (or a copy of the County Health Dept. Septic Permit).
 10. For attached dwellings or dwellings less than five feet from any property line, submit details for fire walls.

NOTE: Each document required above must be submitted as originals.

Residential Building Permit Application

City of Pendergrass
65 Smith Bridges Road
Pendergrass, Georgia 30567
706.693.2494



Permit Application

Date _____

Permit Number _____

New Construction, Remodel/Addition

As the owner of record or the authorized agent of the owner of record, I hereby apply for a permit to erect/alter and use the structure(s) as described herein and/or shown on the accompanying plan specifications. Said structure(s) is to be located as shown on the plot plan. If the permit is granted, I agree to construct same according to the laws and Ordinances of the City of Pendergrass and to conform to all laws and ordinances regulating same. I also certify authorization to the inspection by the employees of the City of Pendergrass of the described premises at any time when work those premises is ongoing and hereby grant consent. I understand that the structure authorized by this permit shall not be occupied until all inspections have been made and the Certificate of Occupancy has been approved by the City Building Inspectors and issued by the City of Pendergrass.

Address of Project _____

Value of Construction \$ _____ Will you need to add ____ Temporary Power Pole ?

Lot Number _____ Parcel Number _____

LANDOWNER OF RECORD

Name _____ Phone Number _____ email _____

Address _____ City _____ State _____ Zip _____

BUILDING CONTRACTOR

Contractor _____ 24- hour phone number _____

Address _____ City _____ State _____ Zip _____

Email _____ Ga. Contractor's License # _____

PROPERTY/STRUCTURE INFORMATION

Use _____ Zoning _____ Subdivision _____

Lot # _____ Width of Lot _____ Depth of Lot _____ Width of structure _____

TOTAL Heated SQFT: _____ TOTAL Unheated SQFT _____ TOTAL Under Roof: _____

Bedrooms _____ # of Bathrooms _____

Basement (sq. Ft.) _____ Finished Basement ? _____

Setbacks from property lines: Left _____ Right _____ Front _____ Rear _____

Electric Utility Company _____

Note: Complete plans must be furnished on all permit submittals. The Permit will expire unless work is commenced within 90 days, or if work is suspended or abandoned for a period of 90 days after work has commenced. Erosion control must be installed prior to the commencement of construction and be maintained throughout the project until all land is stabilized.

Notice: No changes shall be made from that which is stated in this application, or in attached plans and specifications, except by submitting a revised application, plans and/or specifications and receiving approval from the Chief Building Official for such change. Granting of a permit shall not be construed as a permit for or an approval of any violation of the Building Code or any other state or local law regulating construction or the performance of construction.

Applicant's Signature

Print Name

Personally appeared the above-named applicant, who on oath says that he/she is the owner of record or represents the owner of record of the subject property, and that all of the above statements are true to the best of his/her knowledge.

Sworn to and subscribed before me this _____ day of _____, 20_____.

My Commission Expires: [Notary Seal]

Notary Signature

For City Use Only

Received by: _____

Date _____

Building Official Approval

Date

Planning Department Approval

Date

Total Fees Due \$ _____ (Includes all Applicable Fees)

Attention

The city must receive a Tertiary permit from the Georgia EPD for each buildable lot as follows:

The purpose of a tertiary permit is to satisfy the Georgia EPD requirement of providing an erosion control plan that shows the erosion control measures that will take place on buildable lots and WHO will be accountable for putting those measures in place. Each individual lot in a subdivision must be under a primary permittee or a tertiary permittee. A Level IIA/engineer designs an erosion control plan for each lot, and it is up to the permittee to comply with that plan. This means that YOU, as the builder, will become responsible as the tertiary permittee.

The tertiary permit entails a requirement of a three-phase erosion control plan. Our city also has additional requirements for each submittal that may be required per the building Inspector. At minimum, the following will be provided with each tertiary permit submittal:

1. Completed city building permit application
2. Completed GA EPD tertiary plan review checklist
3. Completed SWCC cover sheet
4. Completed NOI (notice of intent) ready for submittal
5. Completed tertiary permit plan ready for submittal.

You will NOT need a permit if all of the following apply:

1. you are not in a subdivision
2. you are disturbing less than one acre
3. you are further than 200ft from a creek or water impoundment
4. If a primary permittee already exists

**City of Pendergrass
COMMUNITY DEVELOPMENT DEPARTMENT
Building & Inspection Division**



AUTHORIZATION OF PROPERTY OWNERS

Note: If the applicant is the property owner, please disregard this form.

Name of owner(s) _____

Address _____

Phone Number _____

Name of applicant(s) _____

Address _____

Phone Number _____

Purpose of Permit _____

Site Address _____

I swear that I am the owner of the property, which is the subject matter of the attached applications as shown in the records of Jackson County, Georgia. I authorize the person named above to act as applicant in the pursuit of a permit as described above for the subject property.

Signature of Owner(s)

Personally appeared before me

Notary Public (Print Name)

who swears that the information contained in this authorization is true and correct to the best of his/her knowledge and belief.

Notary Public

Date

[Notary Seal]

City of Pendergrass

Community Development Department

State Licensing Board for Residential and General Contractors

AUTHORIZED PERMIT AGENT FORM

License verification by permitting office will be completed by visiting sos.ga.gov/plb/

Licensed Contractor: (check one) _____ Individual _____ Qualifying Agent

Name of licensed person _____

**Please attach a copy of Individual license or Company License
(Reflects Company and qualifying agent license number)*

License number of individual or qualifying agent: _____

Name of licensed company (if applicable) _____

License number of company (if applicable): _____

I, _____, hereby designate
Name of Licensed Individual or Qualifying Agent

*Name of person picking up permit *this person is considered authorized permit agent - please attach driver's license copy.*



Copy
Driver's License of
Person Picking Up

to apply for and obtain the permit(s) for the project located at:

Project Address: _____

I, the undersigned, being the contractor as either an individual or a qualifying agent, do hereby affirm and swear, under oath, that all information on this form and on accompanying documents are true and correct.

Signature of individual or qualifying agent: _____

State of _____ County of _____

Subscribed and sworn to before me this _____ day of _____ 20____.

Signature of Notary Public _____

[Notary Public Seal]

PENDERGRASS

65 Smith Bridges Road
Pendergrass, Ga 30567
706.693.2494



EROSION CONTROL AFFIDAVIT

This affidavit must be signed and delivered to the City of Pendergrass prior to issuance of a land disturbance OR building permit.

Permit for _____ Clearing () Grubbing () Grading () Development

Job Site Address _____ Lot Number _____

Company Name _____

Company Address _____ City _____ State _____ Zip _____

Contact Name _____ Contact Phone _____

Email _____

My signature hereon signifies that I am the person responsible for compliance with *The Soil Erosion and Sedimentation Control Ordinance*. I acknowledge that if I fail to comply, City inspection staff may: refuse to make inspections, cash or call the surety instrument, issue Stop Work Orders, and/or issue summons to appear in Municipal Court for violations of erosion control requirements; and that I must use Best Management Practices (BMP's) to control soil erosion on my job site. I also understand that failure to follow the City's requirements pertaining to soil erosion control may result in the City calling any or all sureties to remedy, correct or prevent any erosion-related problems or conditions.

Signature _____ Date _____

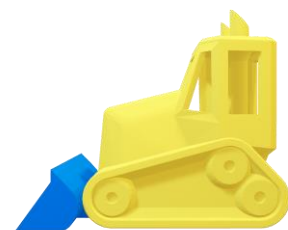
Print Name _____

Notary Signature _____ [Notary Seal]

City Use

Received by: _____

Date: _____





**AFFIDAVIT – COMPLIANCE WITH GEORGIA STATE ENERGY CODE
(IECC)**

2015 IECC with Georgia State Supplements and Amendments for Residential Dwellings
PENDERGRASS GEORGIA - INSPECTIONS & CODES ENFORCEMENT DIVISION

NOTICE: This form must be completed, signed and submitted at the time of permit application.

BUILDING PERMIT NUMBER: _____ DATE: _____
SUBDIVISION: _____ LOT: _____
JOB SITE ADDRESS: _____
CONTRACTOR/BUILDER: _____

The 2009 International Energy Conservation Code, published by the International Codes Council, when used in conjunction with the Georgia State Supplements and Amendments, shall constitute the official Georgia State Energy Code for Buildings. This Code establishes minimum regulations for energy-efficient design, erection, construction, and/or alternation of all buildings. Compliance with this Energy Code by designers and builders is mandatory. All items shall be completely filled out.

Note: IECC Table 402.1.2, RECA Compliance Guide, and IECC Table 402.1.4 values are attached to this form.

I/we do certify by signature below that the above permitted structure shall be built in compliance to the Georgia State Energy Code using one of the following methods:

- ☐ GA TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT (Pendergrass = Climate Zone 3).
- ☐ IECC UA Trade off based on Georgia Amendment Table 402.1.6 (Climate Zone 3).
- ☐ RES Check: Keyed to 2015 IECC
- ☐ IECC Section 405 Simulated Performance Alternative using: REM Rate, Energy Gauge as approved software programs.
- ☐ Energy Rating Index(ERI): R406
ERI Score _____

The following are additional requirements of the 2015 Energy Code as amended by the State of GA:

- ☐ Heating and cooling sized per ACCA Manual J and Duct Design per ACCA Manual D with R-8 Ducts in attics (required).
- ☐ A permanent certificate per GA Supplement to IECC 401.3 shall be readily accessible and shall be posted on or near the electrical distribution panel or air handler – See Georgia State Supplements and Amendments Appendix D.
- ☐ Air Barriers installed on all vertical sides of insulation, except behind tubs/showers & fireplace chase, where restrained.
- ☐ Air barrier at eaves to prevent “wind washing.” Indicate with an “x” the following applicable items:
 - ☐ Pull down/disappearing stairs in conditioned space weather stripped and U-0.20 (R-5 minimum) see: GA Amendment 402.2.4.
 - ☐ Scuttle Hole in conditioned space to attic U-0.05 (R-19) See GA Amendment 402.2.4 Fenestration access hatches & doors.

___Unvented/sealed crawl space complies with Georgia State Supplements and Amendments 402.2.11 - Crawl space walls.

List R-value for: Flat Ceiling R=___; Sloped Ceiling R=___; Wall Cavity R=___; Ext Sheathing R=___; Mass Wall (Min. R-5) R=___; Attic Knee Wall (Min. R-18) R=___; Floor over unconditioned space (Min. R-19) R=___.

Floor over outside air (Min. R-30) R=___ Basement conditioned? ___Y ___N
Slab-on-grade? ___Y ___N

Window U-factor from manufacturer NFRC Label: _____; Window SHGC from manufacturer NFRC Label: _____

Heating Efficiency % _____; Cooling Efficiency SEER _____ Duct Insulation _____

Comments: _____

SIGNATURE (ORIGINAL) _____ PRINTED NAME: _____

COMPANY NAME: _____ ADDRESS: _____

CITY: _____ ZIP: _____ DATE: _____

City Staff Signature: _____ Date: _____

PENDERGRASS RESIDENTIAL 2015 IECC COMPLIANCE TABLES

2015 IECC Table 402.1.2 – 2020 Georgia Amended

TABLE R402.1.2

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

Climate Zone	3
Fenestration U-Factor(<i>b</i>)	0.35
Skylight U-Factor(<i>b</i>)	0.55
Glazed Fenestration SHGC(<i>b</i>)	0.27
Ceiling R-Value	38
Wood Frame Wall R-Value	13
Attic Knee wall R-Value	18
Mass Wall R-Value	8/13
Floor R-Value	19
Basement Wall R-Value(<i>c</i>)	5/13
Slab R-Value & Depth (<i>d</i>)	0
Crawl Space Wall R-Value(<i>c</i>)	5/13

Equivalent U Factor Table of IECC Building Envelope Requirements for Pendergrass

TABLE R402.1.4

EQUIVALENT U-FACTORS

Climate Zone	3
Fenestration U-Factor	0.35
Skylight U-Factor	0.55
Ceiling U-Factor	0.030
Frame Wall U-Factor	0.084
Mass Wall U-Factor(<i>b</i>)	0.098
Floor U-Factor	0.047
Basement Wall U-Factor	0.091
Crawl Space Wall U-Factor	0.136

Table R402.1.6
MINIMUM INSULATION R-VALUES FOR ENVELOPE COMPONENTS WHEN TRADE-OFFS ARE USED

Climate Zone	3 *
Wood Framed Walls (a)	13*
Mass Wall (a)(b)	5*
Attic Knee wall (a)(c)	18*
Basement Wall (a)	5*
Crawl Wall (a)	5*
Floor Over Unheated Spaces	13*
Ceilings with Attic Space	30*
Vaulted Unvented Attic Roofline Air-impermeable (c)(d)	20**
Vaulted Unvented Attic Roofline Air-permeable (c)(d)	20+5**
Cathedralized Vented Ceiling Roofline Air-permeable (c)(d)	20**

*20 Window U-Factor 0.5 max with SHGC 0.30 max

**Air -impermeable as per IRC 806.5

(a): Weather-stripped hinged vertical doors (minimum R-5 insulation or maximum U-0.20), weather-stripped hatches/scuttle hole covers (minimum R-19 insulation or maximum U-0.05), or weather-stripped and disappearing/ pull-down stairs (minimum R-5 insulation or maximum U- 0.20) shall be deemed to meet the minimum insulation R-values of the corresponding envelope element.

(b): Any mass wall (masonry, CMU, etc.)

(c): Attic knee wall for the purpose of this code is defined as any vertical or near vertical wall in the building envelope that has conditioned space on one side and attic space on the other side. Exception: When the building roofline is insulated, the former knee wall is classified as an interior wall.

(d): Examples of air-impermeable insulation include spray foam and rigid foam board. Examples of air-permeable insulation include fiberglass batts and cellulose.



CITY OF PENDERGRASS
65 Smith Bridges Road
P.O. Box 95
Pendergrass, Georgia 30549
706.693.2494

“Pride, Progress, Possibilities...”

Melvin “Monk” Tolbert, Mayor
Willie Pittmon, Councilman
City Administrator Robert Russell

Sabrina Guevara , Councilwoman

Nathan Pruitt, Councilman
Harlan Robinson, Councilman
City Clerk Renee Martinez

January 01/2020

To: All Developers, Builders, Residents and Building Inspectors
Kevin Daniels, David Holcombe, City of Pendergrass Building Inspectors

Re: CITY OF PENDERGRASS AND GEORGIA STATE MINIMUM STANDARD CODES

Listed below are the code editions in effect as of January 1, 2020:

International Building Code	2018 Edition with Ga. 2020 Amendments
International Residential Code	2018 Edition with Ga. 2020 Amendments
International Plumbing Code	2018 Edition with Ga. 2020 Amendments
International Mechanical Code	2018 Edition with Ga. 2020 Amendments
International Fuel Gas Code	2018 Edition with Ga. 2020 Amendments
International Energy Conservation Code	2015 Edition with Ga. 2020 Amendments
International Fire Code	2018 Edition with Ga. 2020 Amendments
National Electrical Code	2017 Edition (with no Ga. Amendments)
International Swimming Pool and Spa Code	2018 Edition with Ga. 2020 Amendments
Georgia residential Energy Code Compliance Certificate	2020 Appendix

The Georgia Amendments are available at the below web link:

<https://www.dca.ga.gov/local-government-assistance/construction-codes-industrializedbuildings/construction-codes>

The DCA Board specifically omitted the plumbing, electrical, and energy requirements of the International Residential Code for One- and Two-Family Dwellings. Therefore, the plumbing requirements of the International Plumbing Code, the electrical requirements of the National Electrical Code, and the energy requirements of the International Energy Conservation Code must be used for one- and two-family dwelling construction.

Rob Russell

Rob Russell
City of Pendergrass Administrator



City of Pendergrass

RESIDENTIAL GRADING PERMIT APPLICATION

Community Development Department

Note: Land clearing to be less than 1 acre under this permit.

Site Plan shall be attached to application upon submittal. Must include: owner's name, site address, 24-hour contact, construction entrance location, silt fencing (BMP's) location, stream buffers, drainage easements, floodplains, conservations, etc. (as shown on subdivision plat).

Application Date: _____ Parcel Number: _____ Zoning: _____

Site Address: _____

Subdivision Name: _____

Applicant Name: _____

Property Owner Name: _____

Address: _____

Phone: _____ Email: _____

24 Hour Contact: _____

Phone: _____

Email: _____

Creek/Stream on Property: _____ Yes _____ No

Parcel Area (Acres): _____ Disturbed Area (Acres): _____

Land Disturbance Description (Check One):

___ Driveway Access Only ___ Site Preparation Prior to Building Permit ___ Access & Septic Tank

Installation Only ___ Other _____

Signed: _____ Print Name: _____

Company: _____ Email: _____

PENDERGRASS

65 Smith Bridges Street
Pendergrass, Ga 30567
706.693.2494



MODEL/SALES HOME PERMIT APPLICATION (Complete one application per model home)

The City of Pendergrass Community Development Department permits construction of a limited number of model homes before the completion and final platting of a subdivision. The issuance of a Model Home Permit is limited to the lesser of 4 lots or 10 percent of the total lots within the development and must meet the following requirements:

Prior to Plan Submittal contact our Plan Review dept. to discuss ADA requirements.

To Be Completed by Applicant (*Applications not completed in full will be rejected and/or delayed*):

Total Number of Lots in Subdivision _____ Number of Model Home Permits Requested: _____

Application for Model Home is # _____ of _____ allowed Model Home Permits.

LDP# (required) _____ Residential Building Permit Application# (required) _____

Owner Signature _____ Date _____

Owner Name: _____

Owner Address: _____

Owner Phone: _____

Owner Email: _____

24 Hour Contact Name: _____

24 Hour Contact Phone: _____

Development Name: _____

Development Address: _____

Model Home Address: _____

If no address has been established yet, Applicant must contact Jackson County GIS to establish an address.

___ Completed Building Permit Application and supporting documentation.

___ Provide an 8.5" x 11" site plan showing which lots within the development are proposed for model home(s).

___ A copy of the signed ENG permit card submitted with the application for a model home.

___ Copy of sewer/water receipt from Jackson County.

All fees including permit fees (receipt required) must be paid.

___ Lots for model homes must be served by an existing approved public roadway or a new planned roadway with curbing, rock base, and binder coat.

___ **An active fire hydrant must be located within 300 feet of the model home. Attach Fire Department report. Call City Planning and Zoning for Fire Department inspection between.**

___ **A Temporary Certificate of Occupancy (TCO) must be issued by the Building Department prior to opening of a model home to sales staff or the public. TCOs for Model Homes are strictly for sales purposes.**

City of Pendergrass
Community Development Department
65 Smith Bridges Road
Pendergrass, Georgia 30567
706.693.2494



ADA and Single-Family Homes

While the FHA includes specific requirements for multifamily housing, single-family home builders don't need to make their homes accessible, unless, for instance, a model home is also used as a sales office. In that circumstance, the portion of the model home used for the sales office becomes a "public accommodation" and is subject to the ADA. That means the sales office must be accessible.

When the ADA Applies to Model Homes

The ADA prohibits discrimination on the basis of disability "in the full and equal enjoyment of the goods, services, facilities, privileges, advantages, or accommodations of any place of public accommodation by any person who owns, leases (or leases to), or operates a place of public accommodation".

The categories of facilities qualifying as "public accommodations" under Title III of the ADA are to be construed liberally so as to afford people with disabilities equal access to the wide variety of establishments available to the non-disabled. For our purposes, and in pertinent part, the ADA's definition of public accommodation, includes a "sales or rental establishment."

Although "model homes" are not expressly listed in the ADA's definition, the Department of Justice, the agency charged with promulgating regulation under the ADA, has explicitly stated that model homes come within the crosshairs of the ADA, under the term "other sales or rental establishment," if used as both a model home and sales office. This is true even if only one room in the model home is used as a sales office, if sales efforts are conducted onsite, and regardless of whether or not the model unit will ultimately be sold as a private residence.

Even if no sales are actually conducted inside the model home, the ADA regulations will apply where a sales representative is present in the model home, he or she approaches prospective purchasers inside the model home, and information about the housing development is kept inside the model home. The courts have found that these sales activities occurring inside the model home are sufficient to categorize the model home-turned-sales office as a place of public accommodation, even though no actual sales or transactions occurred within and even if a separate sales office exists.

City of Pendergrass

CITY OF PENDERGRASS
COMMUNITY DEVELOPMENT DEPARTMENT
Building & Inspection Division



PROPERTY OWNER AFFIDAVIT-GENERAL CONTRACTOR

Notice: This form must be completed and submitted to the Community Development Department before a permit is issued to a Property Owner to act as the General Contractor in lieu of a State of Georgia licensed Residential/General Contractor. All information requested on this form is mandatory and shall be submitted in person by the listed property owner of record.

Property Address: _____ Phone #: _____

Subdivision: _____ Lot/Bldg./Ste: _____

The undersigned hereby applies for special consideration as owner of the property listed above, desiring to perform construction and serve as general contractor for the subject property. In making this request for a Property Owner building permit, the undersigned hereby states the following to be true:

- 1) The building or structure is located on real property owned by the undersigned and is intended for occupancy by the undersigned upon completion and will not be used by or open to the general public.
- 2) The undersigned has not sold a building or structure that they constructed and acted as a property owner contractor within the prior 24 months in the State of Georgia.
- 3) The subject property is not to be offered for sale or lease as provided in O.C.G.A. 43-41-17.
- 4) The undersigned shall serve as the contractor of record and accept all inherent responsibilities and liabilities for the work authorized by the approved building permit.
- 5) The undersigned may not hire or assign another individual or firm to hire sub-contractors without that individual or firm being duly licensed by the State of Georgia per O.C.G.A. Title 43, Chapter 41 and further securing required permits or affidavits from the City of Pendergrass.
- 6) The undersigned agrees to build in strict accordance with all applicable codes and strictly adhere to the inspection requirements of the City of Pendergrass AND acknowledges that inspections must be performed in an established sequence as required by the City of Pendergrass and that work done in violation of the building codes must be corrected or shall be ordered removed.
- 7) The undersigned acknowledges and is aware that a permit issued under the provisions of the City of Pendergrass's codes may be revoked for false statements or misrepresentation as to the material fact in the building permit application on which the permit was issued.
- 8) The undersigned acknowledges that knowingly making false statements in order to obtain a building permit will subject the undersigned to possible prosecution and/or fine per Georgia Criminal Code Section 16-10-20 (False Swearing) with fines of not more than \$1,000.00 and imprisonment for not less than one (1) nor more than five (5) years or both.

9) The undersigned further agrees to indemnify, hold harmless and defend the City of Pendergrass, its operator, agents and contractors from any and all liabilities and actions that may arise from any actions or inactions associated with the issuance of this building permit.

NOTE – Any person applying for a permit under this application MUST meet with the Building Inspector BEFORE any construction can begin.

Signed:

(Property Owner acting as general contractor of record)

Notary Public:

State of Georgia
County of _____ Sworn and
subscribed before me this _____ day
of _____ 20____

Print Name

Office Use Only

Application No.: _____ Taken in by: _____

**CITY OF PENDERGRASS
COMMUNITY DEVELOPMENT DEPARTMENT
Building & Inspection Division**



HOMEOWNER AFFIDAVIT – TRADE CONTRACTOR

Notice: This form must be completed and submitted to the Community Development Department before a permit is issued to a Homeowner to act as a Trade Contractor in lieu of a State of Georgia licensed Trade Contractor. All information requested on this form is mandatory and shall be submitted in person by the listed homeowner of record.

Property Address: _____ Phone #: _____

Subdivision: _____ Lot/Bldg./Ste: _____

This is to certify that I am the homeowner of the property listed above and desire to serve as trade contractor of record and shall be responsible for: (check all that apply)

☐ Electrical ☐ Plumbing ☐ Mechanical ☐ Low Voltage

In making this request for a Homeowner trade permit, the undersigned hereby states the following to be true:

10) The building or structure is located on real property owned by the undersigned.

11) The undersigned shall serve as the trade contractor(s) of record as allowed by the State of Georgia per O.C.G.A. Title 43, Chapter 14 and shall accept all inherent responsibilities and liabilities for the work authorized by the approved building permit.

12) The undersigned may not hire or assign another individual or firm to perform the specific trade work per the State of Georgia O.C.G.A. Section 43-14-13. All work intended to be performed under this affidavit must be done personally by the Property Owner.

13) The undersigned agrees to build in strict accordance with all applicable codes and strictly adhere to the inspection requirements of the City of Pendergrass AND acknowledges that inspections must be performed in an established sequence as required by the City of Pendergrass and that work done in violation of the building codes must be corrected or shall be ordered removed.

14) The undersigned acknowledges and is aware that a permit issued under the provisions of the City of Pendergrass's codes may be revoked for false statements or misrepresentation as to the material fact in the building permit application on which the permit was issued.

15) The undersigned acknowledges that knowingly making false statements in order to obtain a building permit will subject the undersigned to possible prosecution and/or fine per Georgia Criminal Code

Section 16-10-20 (False Swearing) with fines of not more than \$1,000.00 and imprisonment for not less than one (1) nor more than five (5) years or both.

16) The undersigned further agrees to indemnify, hold harmless and defend the City of Pendergrass, its operator, agents and contractors from any and all liabilities and actions that may arise from any actions or inactions associated with the issuance of this building permit.

NOTE – Any person applying for a permit under this application MUST meet with the Building Inspector BEFORE any construction can begin.

Signed:

(Property Owner acting as trade contractor of record)

Notary Public:

State of Georgia
County of _____
Sworn and subscribed before me this
_____ day of _____ 20 _____

Print Name

Office Use Only

Application No.: _____ Taken in by: _____