



City of Monterey Park Planning Division

Residential Fence Application*

Height Regulation:

1. **Front Yard:** Walls, fences, or hedges shall not be more than **4 feet** in height in the required front yard as measured from the front property line.
2. **Side /Rear Yard:** Walls, fences, or hedges shall not be more than **6 feet** in height anywhere on the lot except within the front yard setback.
3. **Decorative Feature:** When decorative metal material, including but not limited to wrought iron, is part of the design of a wall or fence, such wall or fence height may be increased a maximum of 6 inches to accommodate the decorative feature.

Public Right-of-way and line of sight clearance

approved by:_____ Date:_____

For City Use Only

Prohibited Material:

1. Chain-link fencing in the front yard;
2. Barbed wire (which includes cyclone fencing and the like), electrified equipment excepting motorized equipment specifically designed to open and close gates, or chicken wire in conjunction with any fence or wall by itself.

Location:

The applicant or property owner shall clearly indicate the location, material, and dimensions of the proposed wall or fence on the site plan. The wall or fence shall be constructed/installed as shown on the site plan. If a wall or fence is to be placed on a shared property line, both property owners must agree to the placement of the wall or fence.

☐ This wall or fence will be constructed entirely on the applicant's / property owner's property.

☐ This wall or fence will be constructed on a shared property line. The applicant has spoken with the owner of the neighboring property, and both property owners have agreed to the placement of the wall or fence. Neighboring property owner signature required.

****The City reviews plot plans for setbacks and zoning code compliance. It is the responsibility of the applicant or property owner to hire a licensed surveyor to determine property lines. A property line dispute between neighbors is a civil matter that needs to be addressed through real property and civil law, and it is not a municipality matter.***

The site plan shall provide all information accurately representing the current conditions found on the subject property as well as the proposed wall or fence.

Property Address:_____ Telephone Number:_____

Wall/Fence Material:_____ Wall/Fence Dimensions:_____

Property Owner Name:_____ Property Owner Signature:_____

Neighboring Property Owner(s) Signature(s):_____

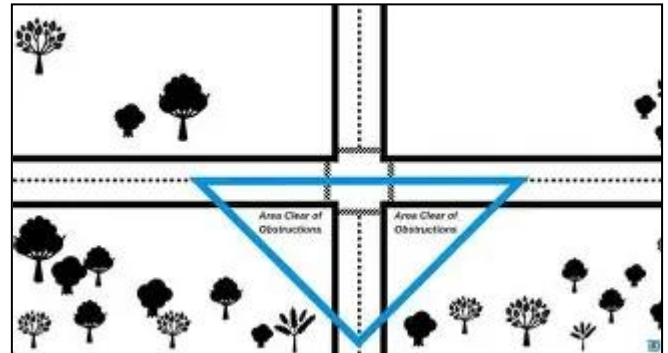
Public Works/Engineering Requirements:

Residential walls, fences, or hedges must be constructed outside of the public right-of-way to maintain safe and unobstructed thoroughfares such as streets and sidewalks. Public right-of-way clearance must be confirmed and approved by Engineering Division. All applications shall comply with the following requirements prior to approval:

1. Corner Sight Distance Requirements

To maintain safe visibility at intersections, all corner lot submittals must comply with the following:

- Sight Triangle Dimensions: A minimum **25' × 25'** sight triangle shall be maintained at all street intersections, measured along each property line from the corner property line intersection.
- Height Restrictions Within the Sight Triangle: Solid walls, fences, hedges, or other obstructions within the sight triangle shall **not exceed 30 inches** (2.5 feet) in height above adjacent roadway grade.
- Taller elements are permitted only if they are open style fencing (e.g., wrought iron, open pickets) that do not obstruct visibility between **30" and 60"** above roadway grade.
- Transition Zone Near the Corner: For the first 10–15 feet outside the sight triangle, it is recommended that solid walls or fences be limited to 3–4 feet in height to improve pedestrian and turning vehicle visibility.



2. Wall Placement Requirements

- Full height walls (e.g., 6 feet) must begin outside the required sight triangle.
- Any wall approaching the corner must either:

Step down to 30 inches, or Transition to open fencing that preserves visibility.

3. Fire Hydrant and City Easement Protection

To ensure emergency access and protect public infrastructure:

- Fire Hydrants: No wall, fence, gate, column, or landscaping may obstruct access to a fire hydrant.
- A minimum 3-foot clear radius around hydrants must be maintained at all times.
- Walls shall not be placed in a manner that restricts visibility or operational access for Fire Department personnel.

4. City Easements

No construction of walls, footings, columns, or permanent structures is permitted within any City easement, including:

- Public utility easements
- Drainage easements
- Access easements
- Fire Department easements

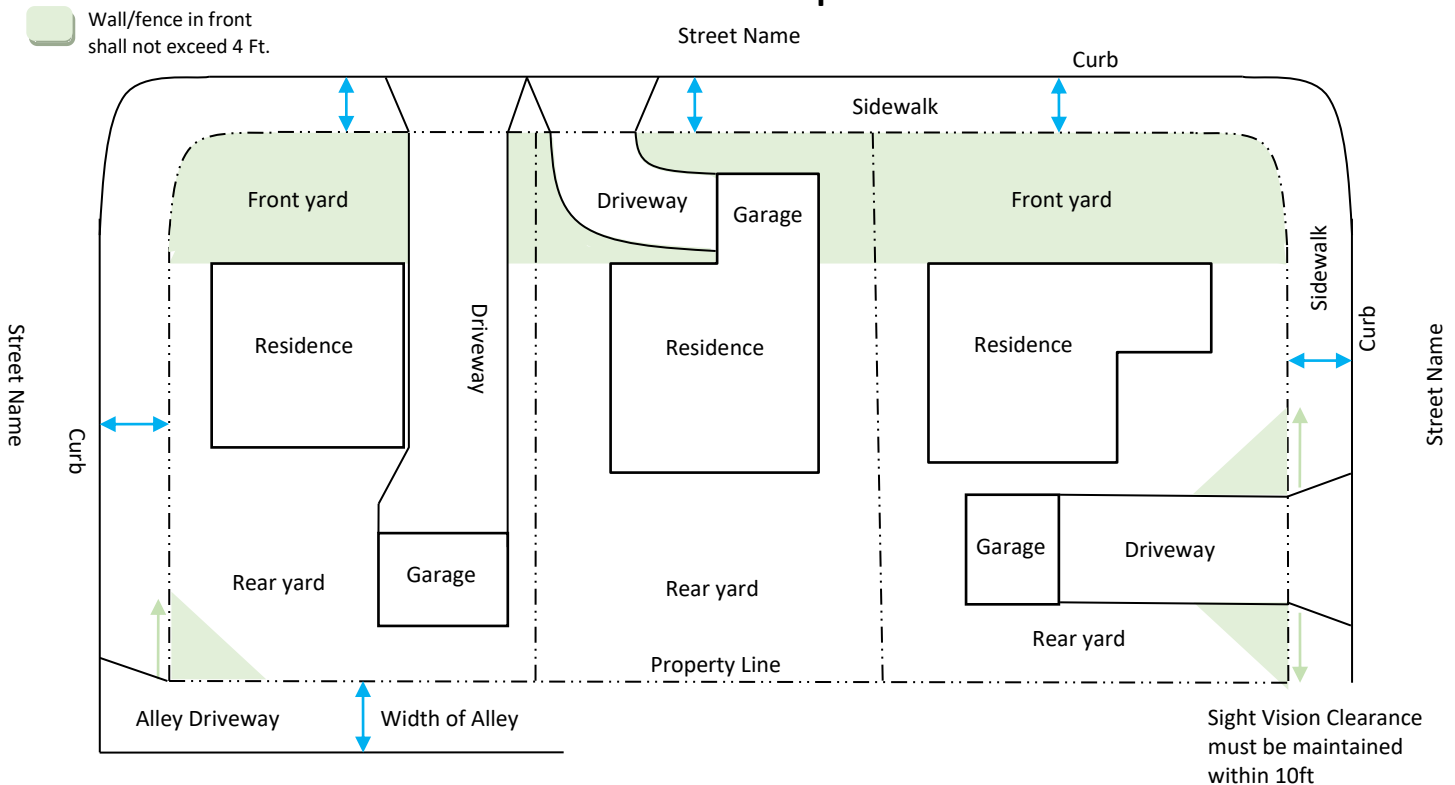
All Walls, Fences and Hedges:

1. Walls, fences, or hedges shall be measured as a single unit if built or planted within 3 feet of each other in any direction.
2. **Line of Sight Clearance:** Clear line of sight shall be maintained at all driveway exits and street intersections. Line of sight clearance must be confirmed and approved by Engineering Division.

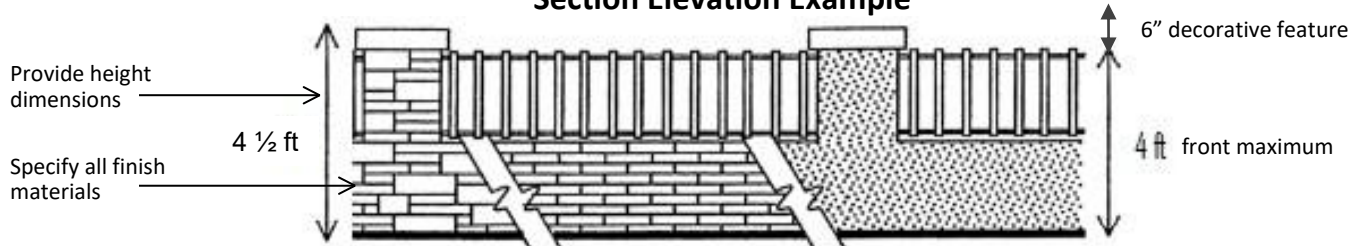
Site Plan Check List (MPMC § 21.08.080(R))

- | | | |
|---|---|--|
| ☐ Property lines and outline of all structures within property | ☐ Fence length, materials, and height call-out | ☐ Setback dimensions |
| ☐ Street and structure labels | ☐ Driveway dimensions | ☐ North arrow and Scale |
| ☐ Measurement from curb face to fence line | | |

Site Plan Example



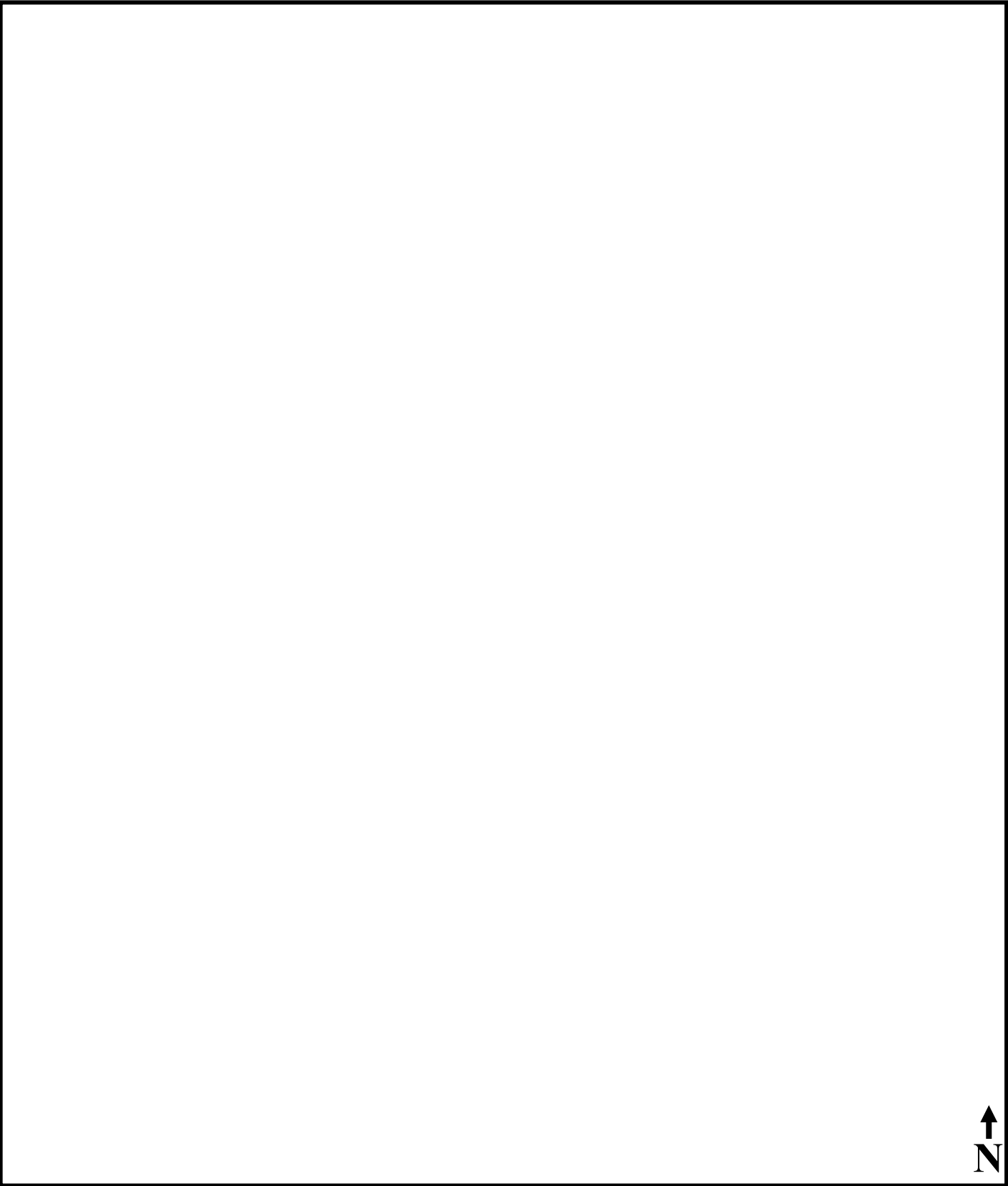
Section Elevation Example



Elevation

Scale: 1/2" = 1'- 0"

Please use the space below to provide a site plan indicating where the fence, wall, or hedge will be located. Show the distance from the curb face to the proposed fence line.

A large, empty rectangular box with a black border, intended for a site plan. In the bottom right corner of this box, there is a north arrow pointing upwards, consisting of a small black arrowhead above a bold, serif capital letter 'N'.