



The Village of Jones Creek has adopted the 2009 International Building, Residential, Plumbing, Mechanical, Fuel/Gas and Energy Conservation Codes and the 2008 National Electrical Codes.

Required Documents to be submitted:

- ## Application

Site Plan

SITE PLAN

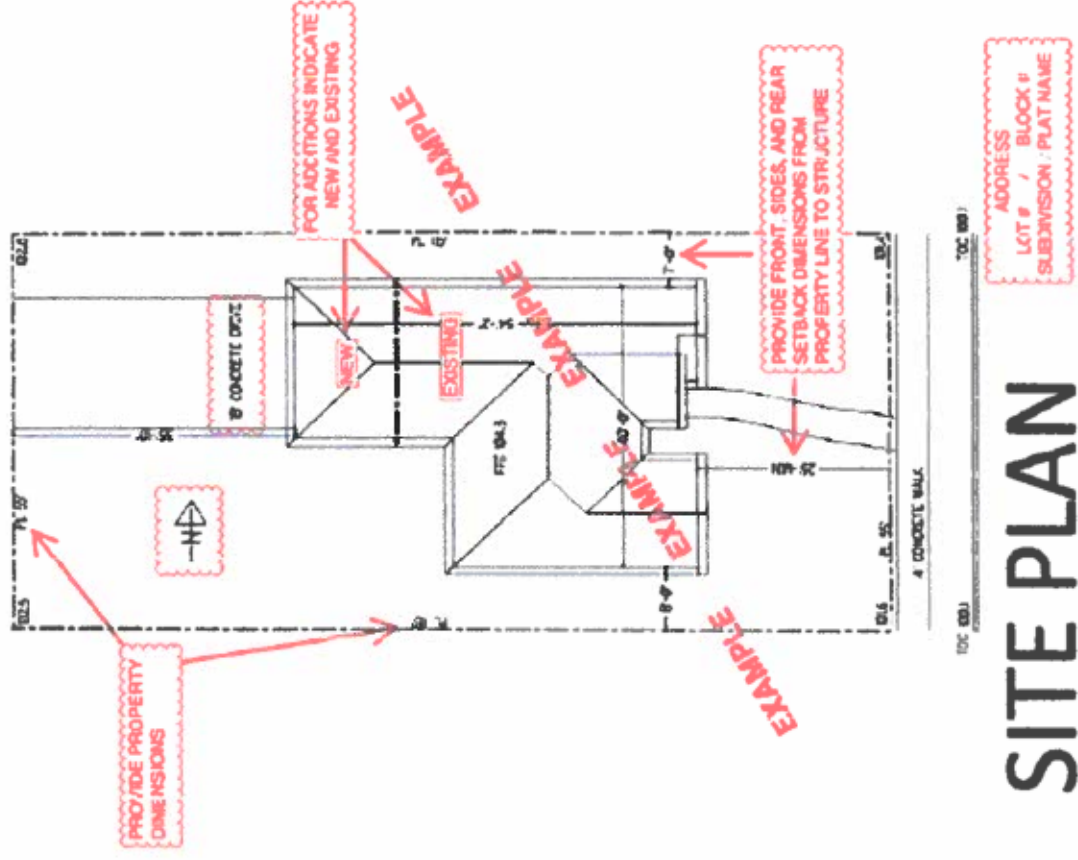


Energy Compliance Report

[illegible]

Site Plan should provide the following information

- ☐ North Arrow
- ☐ Address / Subdivision / Lot Number / Block Number
- ☐ Scale: i.e. $1" = 10'$ / $1" = 20'$ / $1" = 30'$ Please use either an Engineer or Architectural scale only. Nonstandard scales are not acceptable for example $1" = 26.5$ or $1" = 16'$
- ☐ Parcel / Property Dimensions all sides.
- ☐ Show setback dimensions to all structures from property line and distances between buildings.
- ☐ Label all structures i.e. Residence, Barn, Detached Garage, Storage Shed, etc.
- ☐ Dedicated driveway access to property showing street name and or alley where applicable.
- ☐ Driveway must be labeled Driveway or "DW"
- ☐ Show Easements (ingress / egress easements, public utility easements, etc.
- ☐ Square footage of all structures / existing and new



SITE PLAN

Building Plans Example

Construction plans should include the following details

1. Floor Plan

- Dimensions, room titles, and ceiling heights
- Location and labeling of all appliances
- Square footage summary (livable, garage, patios, and total under roof)
- Door and window type and size (ex: single hung, French, etc.)
- All adjacent rooms to an addition in its entirety showing the door and window sizes

2. Roof / Floor Framing Plan

- Size of all individual header and beam sizes
- Label all structural members such as rafters, joist, trusses, over framing, and their spacing

3. Cross Sections

- All connection details keyed in
- Basic outline of all structural members including beams, trusses, hardware, blocking, footings, post, concrete slab, insulation, over framing, etc.

4. Foundation Plan

- Post sizes at all columns supporting concentrated loads
- Footing size dimensions, and depth

5. Electrical Plan

- Receptacle and lighting placement
- Labeling of special hardware required such as disconnects, weatherproof receptacles, GFCI outlets, meter and sub-panel locations, etc
- Location of smoke and carbon detectors
- Location of all appliances such as air conditioners and air handlers

6. Elevations

- Masonry Percentage calculations
- Height location for grade, finish floor, header heights, top plate heights, ridges, etc.
- Slope of roof and floor elevation heights need to be represented correctly.
- Exterior finishes for roofs and walls

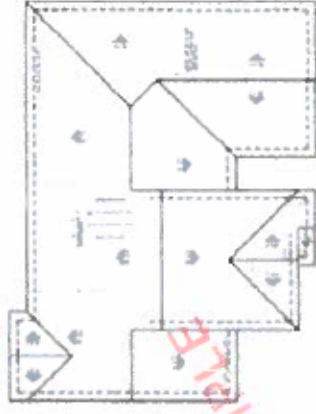
7. Other Documents

- Energy Report
- Engineering
- Other Documents

Stair and Guardrail Details (If applicable)



1. Floor Plan



2. Roof / Floor Framing Plan



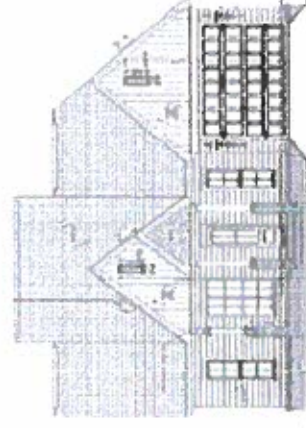
3. Cross Section Plan



4. Foundation Plan



5. Electrical Plan



6. Elevation

Energy Compliance Report

An Energy Compliance report is a document that verifies the structures meet and or exceeds the minimum requirements of the International Energy Conservation Code or IECC. The report will include the address/location of the structure along with other information specific to the structure. It will state that the structure meets, exceeds or PASSES the energy efficiency requirements. The following three types are most common in calculating and generating an energy report and are acceptable. In addition, an Energy Specialist Company may also provide a report.



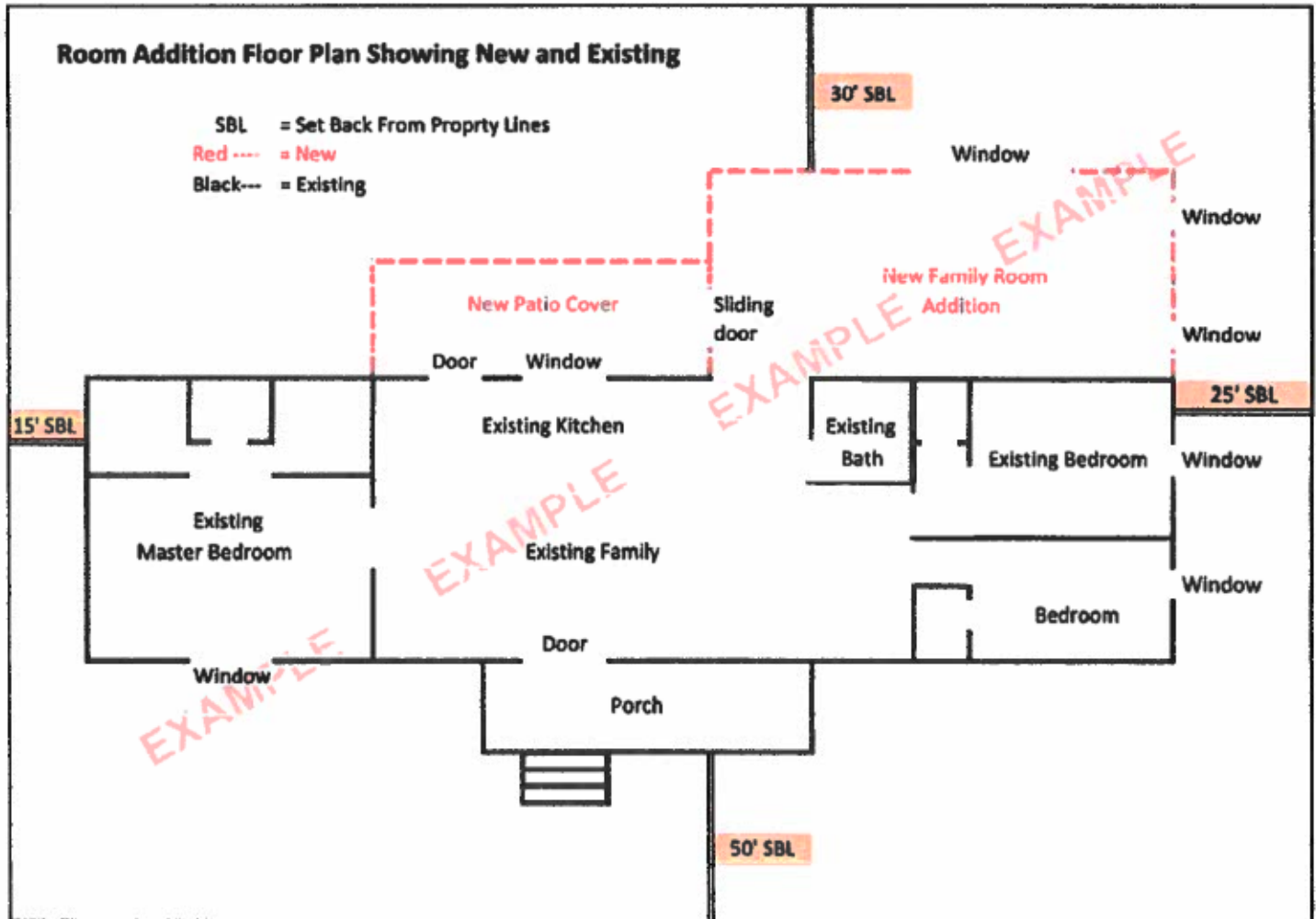
REScheckTM

IC3

International
CODE
COMPLIANCE
CALCULATOR

REM/RateTM

Example





Village of Jones Creek

Phone: (979) 233-2700
Fax: (979) 230-0606

7207 Stephen F. Austin
Jones Creek, TX 77541

Residential Permit Application

Building Permit Number: _____		Valuation: _____	
Project Address: _____		Zoning District: _____	
Lot: _____	Block: _____	Subdivision: _____	
Project Description:		SPECIFY OTHER:	
NEW SFR ☐	SFR REMODEL/ADDITION ☐	ELECTRICAL ☐	DEMO ☐
PLUMBING ☐	MECHANICAL ☐	SWIMMING POOL ☐	FENCE ☐
ACCESSORY BUILDING ☐	LAWN IRRIGATION ☐		
Description of Work:			
Area Square Feet:		Covered	
Living: _____	Garage: _____	Porch: _____	Total: _____
Number of stories: _____			
IS THIS PROPERTY IN A FLOODPLAIN: ☐ Yes ☐ No <i>If yes, provide Flood Plain Certificate</i>			

Owner Information:			
Name: _____		Contact Person: _____	
Address: _____			
Phone #: _____		Mobile #: _____	
Email: _____			

General Contractor	Contact Person	Phone Number	Contractor License Number ☐
Mechanical Contractor	Contact Person	Phone Number	Contractor License Number ☐
Electrical Contractor	Contact Person	Phone Number	Contractor License Number ☐
Plumber/Irrigator	Contact Person	Phone Number	Contractor License Number ☐
TPO Energy Provider	Contact Person	Phone Number	Contractor License Number ☐

A permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. All permits require final inspection.

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

Signature of Applicant: _____ Date: _____

OFFICE USE ONLY:

Approved by: _____	Date approved: _____
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Building Permit Fee: _____
Plan Review Fee: _____
Plumbing Permit Fee: _____
Electric Permit Fee: _____
Mechanical Permit Fee: _____
Permit fees are non-refundable

Total Permit Fees: _____
Received By: _____
Date: _____
BV Project #: _____